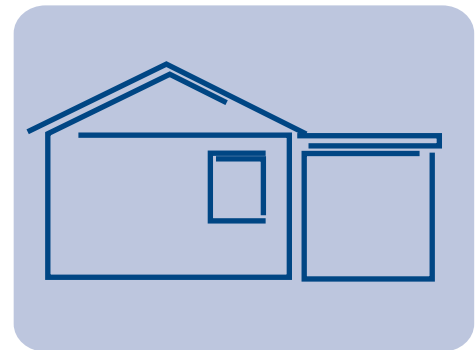
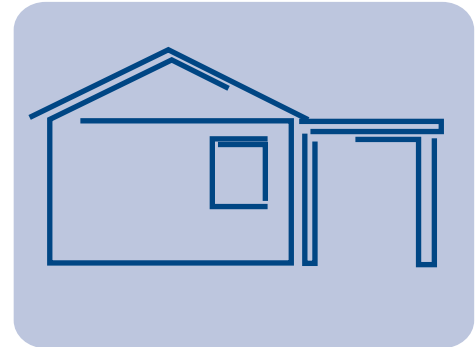
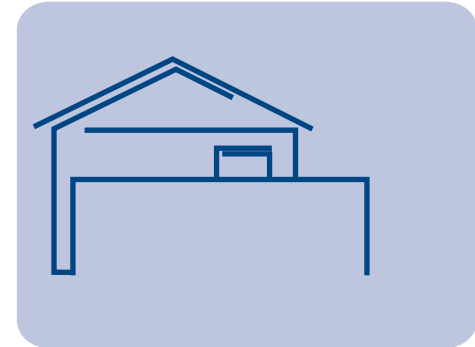
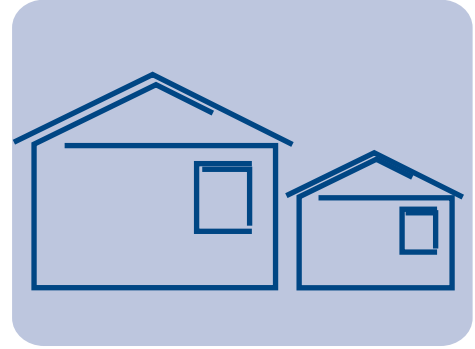
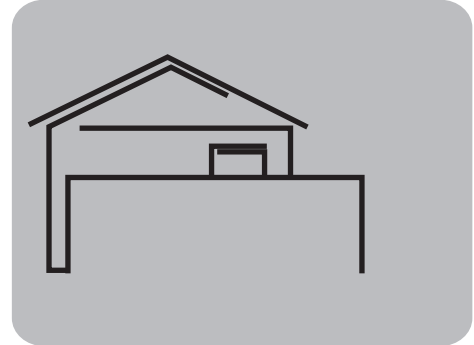
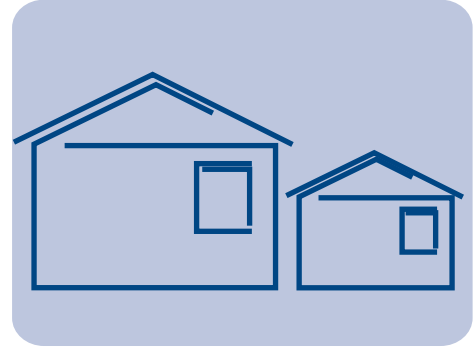


# Home Improvement Details



## **Detached Garage/ Storage Shed Details**





# **CITY OF SCOTTSDALE SUBMITTAL REQUIREMENTS FOR 18' X 22' Detached Storage Shed/Garage**

**This information covers the basic requirements for a detached (non habitable) accessory structure for single-family residential lot. A building permit is required for the construction of a detached accessory building, used as a tool or storage shed that exceeds 120 square feet of projected roof area. Any electrical or plumbing that is run to the accessory structure requires a permit regardless of the buildings size. This should not be considered as a complete list of code requirements. Inspections must be passed before the work is considered completed by the City of Scottsdale.**

## **A. DEFINITIONS**

1. Accessory building shall mean a building, the use of which is customarily incidental to that of the main building.

## **B. LOCATION**

**NOTE:** Any accessory building that is located less than 10 feet from the residence is considered an attached structure and must be designed accordingly. It must meet the setback requirements of the City of Scottsdale Zoning ordinance for the main residence. All setbacks are measured from the property lines to the face of the buildings. When measuring between buildings the distance is from face of structure to face of structure, the rooflines are allowed to overhang two feet into the area between the structures.

- A detached accessory building must be a minimum of 10 feet from the main structure and 6 feet from any other structure on the lot.
- Accessory buildings cannot be built in the required front or side yards, (see attached example)
- Accessory buildings cannot be built in any easements that may be on your property, such as a public utility, equestrian or drainage easements. You may check with the City Records Department at 480-312-2356 for the location of any easements that may be on your property.
- Accessory buildings that are 10 feet or less in height (to the highest point of the roof) may be 2 feet from the property line. **NOTE:** There are additional Building Code requirements that must be met for structures that are within 3 feet of a residential property line. If this will apply to your building, please call 480-312-7083 for additional Building Code information.
- For every additional foot of building height over 10 feet you must add an additional foot of setback from the property lines. Example: A detached building 14-foot tall

would have to be 10 feet from the house, and 6 feet from the property lines (2' for the first 10' and 4' for the additional height).

- Accessory buildings used a garage or carport with access from an alley, shall not be located closer than fifteen (15) feet to the centerline of the alley. An additional foot of setback must be provided for each foot of building height above twelve (12) feet.
- Accessory structures cannot cover more than thirty (30%) percent of the rear yard

### **C. PERMIT AND PLAN REQUIREMENTS**

- Plot plan-provide a plot plan (see attached example) showing the streets, property lines, lot dimensions, location of the new and the existing structures on the lot and the setback dimensions from property lines and structures. You may check with the City Records Department (480-312-2356) to see if there is an existing site plan on file for your property. If one is not available, you can get a copy of your subdivision lot showing the lot dimensions and any easements that may be on your property.
- Building plans-the attached building plans are for your use in constructing a building that is eighteen (18) feet wide by twenty two (22) feet deep. You may not use these details to construct a habitable structure or exceed the building dimensions that are given. If these dimensions do not meet your needs then plans must be designed and submitted for review and approval.

### **D. INSPECTION REQUIREMENTS**

You will be provided an inspection card that will list and detail the required inspections. The following list is for your information and may vary depending on what you will be including in your building.

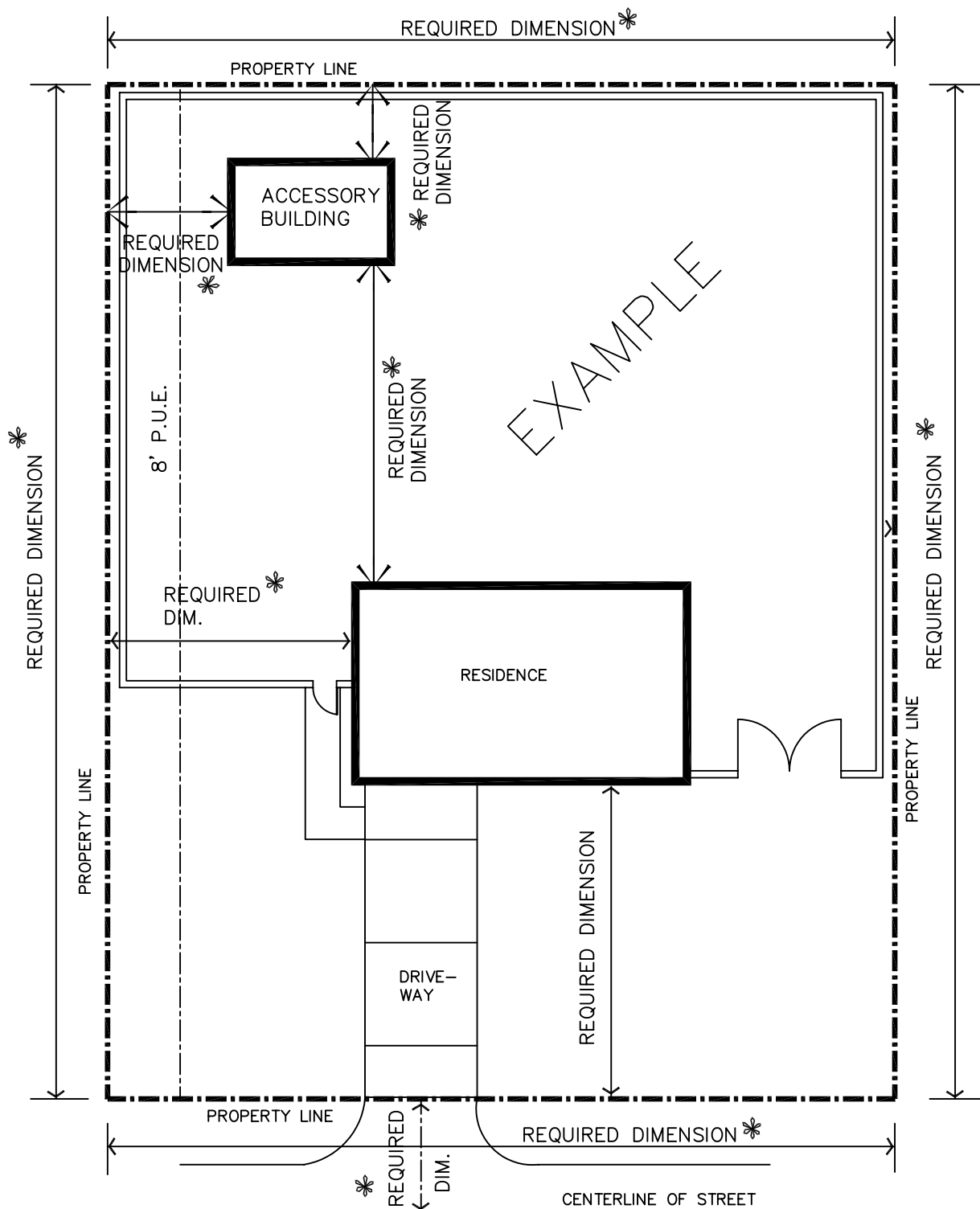
- A pre site inspection
- A lowest floor inspection (pad and slab height)
- An exterior footing inspection. NOTE: if providing electrical or plumbing you will also need underground electrical, sewer and water line inspections
- A stem wall inspection
- A rough framing inspection NOTE: if you are providing electrical or plumbing to the building you will also need rough electrical and plumbing inspections
- A roof deck, strap and shear inspection
- Wall board/drywall inspection (if being installed)
- Final inspections will be required by the Building, Site and Survey Inspection Departments.

#### **PHONE NUMBERS**

Inspection Services	480-312-5750
Development Services-	
Planning and Zoning Div.	480-312-7083
Automated Inspection	
Request Line	480-312-5796

#### **ABBREVIATIONS**

W/N	= WITHIN
O.C.	= ONCENTER
PRESS.	= PRESSURE TREATED
P.U.E.	= PUBLIC UTILITY
	EASEMENT



PROVIDE :  
ADDRESS AND  
ASSESSORS  
PARCEL NUMBER  
OF PROJECT

DIMENSIONS OF  
PROPERTY AND  
EASEMENTS  
AVAILABLE FROM  
RECORDS DEPT.  
DIMENSIONS FROM  
PROPERTY LINES  
AND ALL EXISTING  
STRUCTURES,  
WALLS AND  
SWIMMING POOLS

SHOW LOCATION  
AND SIZE OF ALL  
DRAINAGE  
OPENINGS  
IN BLOCK WALLS

## TYPICAL SITE PLAN



### FEMA BLOCK

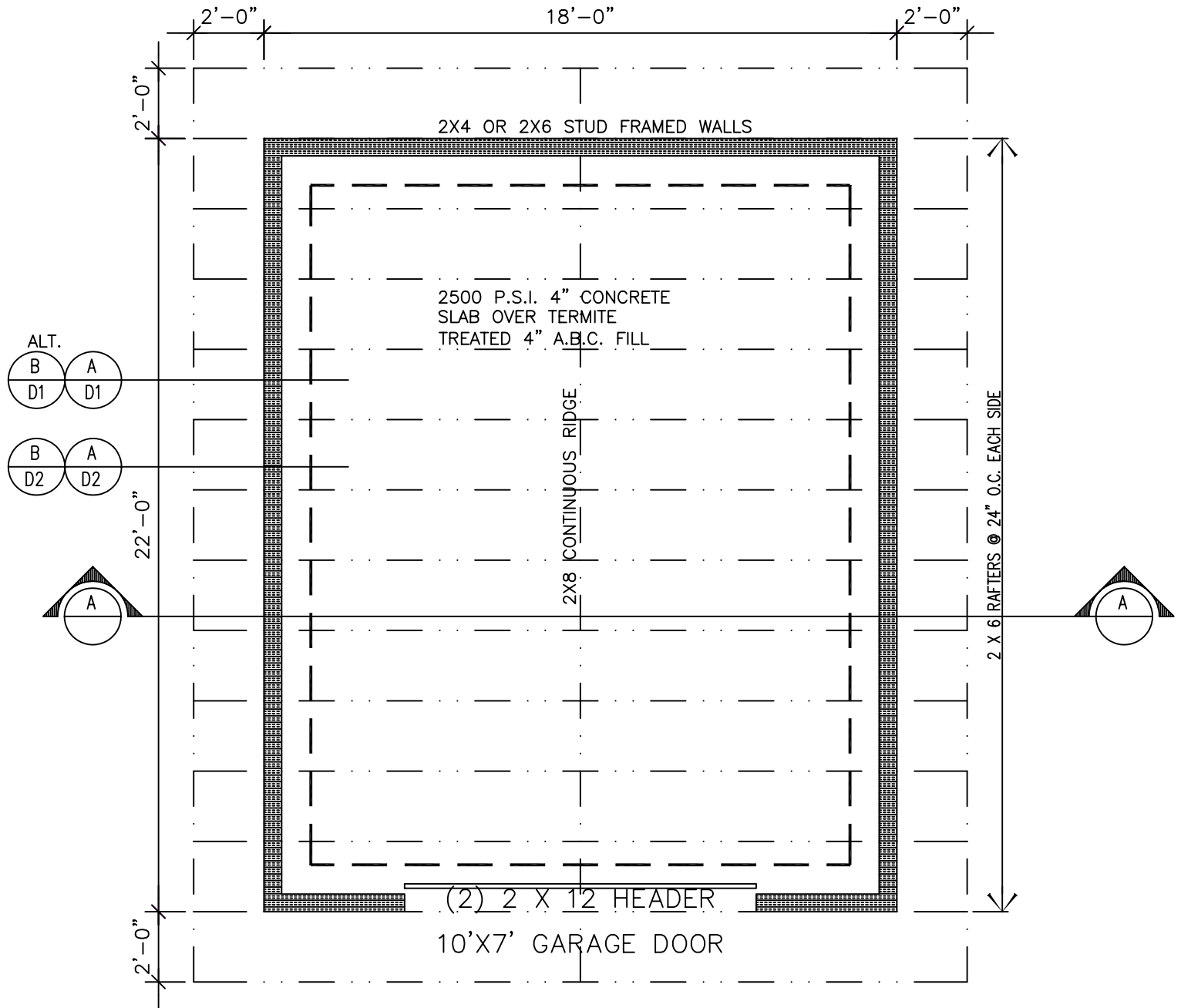
#### Flood Insurance Rate Map (FIRM) Information

Community No.	Panel No.	Suffix	Date of FIRM	FIRM Zone	Base Flood Elev.	(In AO zone, give depth and velocity)
	Date					

#### (For Areas Under Study Or Preliminary F.I.R.M.)

Source of Map	Date of Map	Flood Zone	Base Flood Elevation	(In AO Zone, give depth and velocity. No habitable floors are permitted below lowest floor elevation)
---------------	-------------	------------	----------------------	---



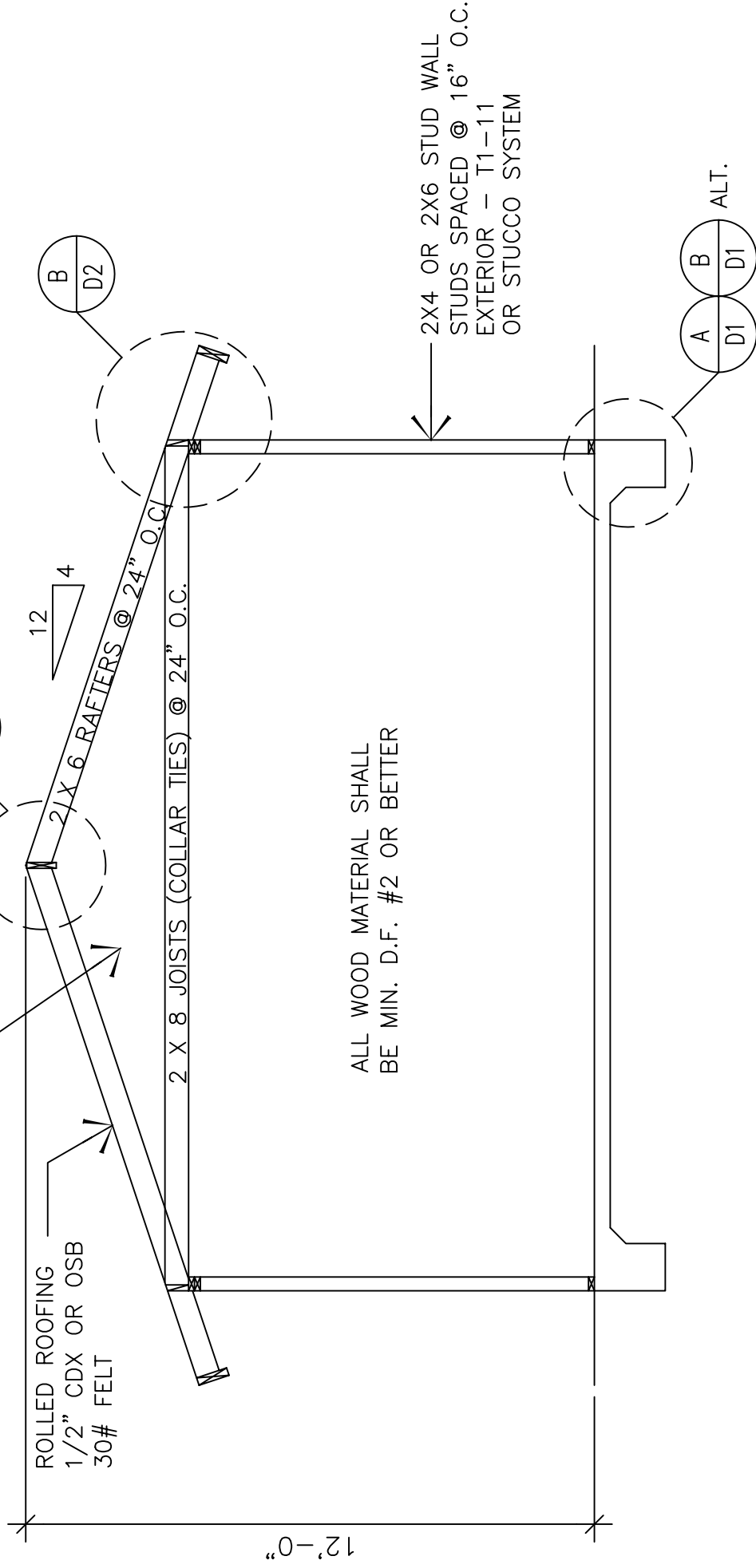


18'X22' DETACHED FREESTANDING  
GARAGE / STORAGE SHED

FLOOR/FOUNDATION/FRAMING PLAN

NOT TO SCALE

NOTE! SPACE ABOVE  
ATTIC IS NOT TO BE  
USED FOR STORAGE



ALL WOOD MATERIAL SHALL  
BE MIN. D.F. #2 OR BETTER

# SECTION A-A

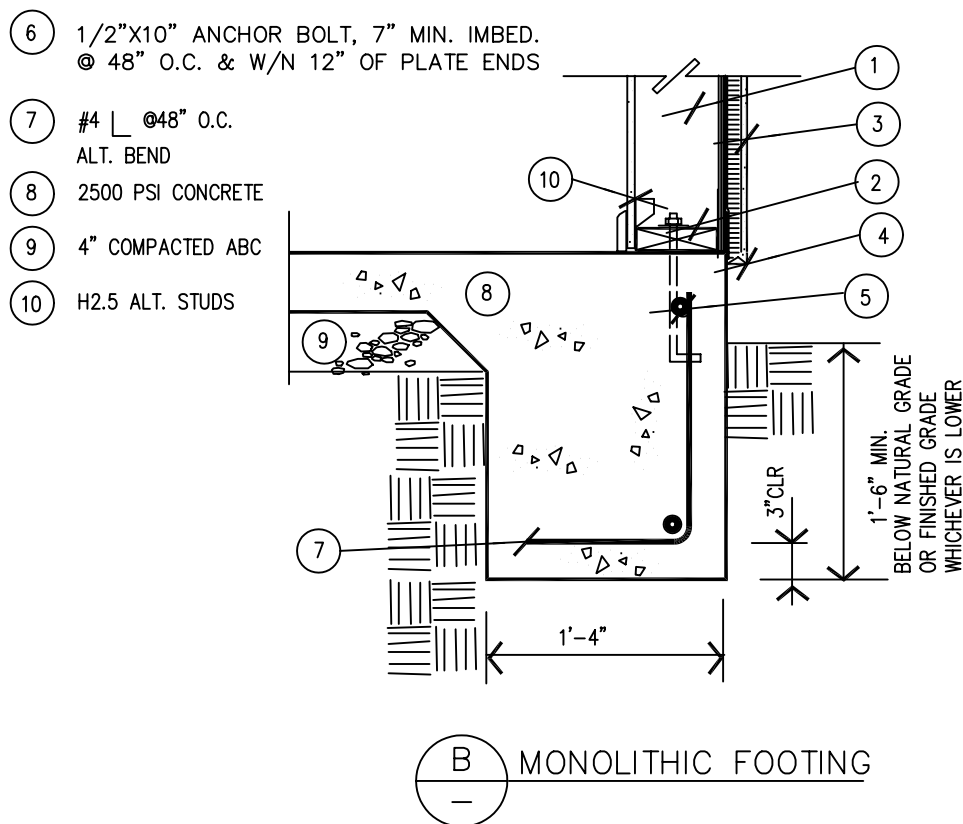
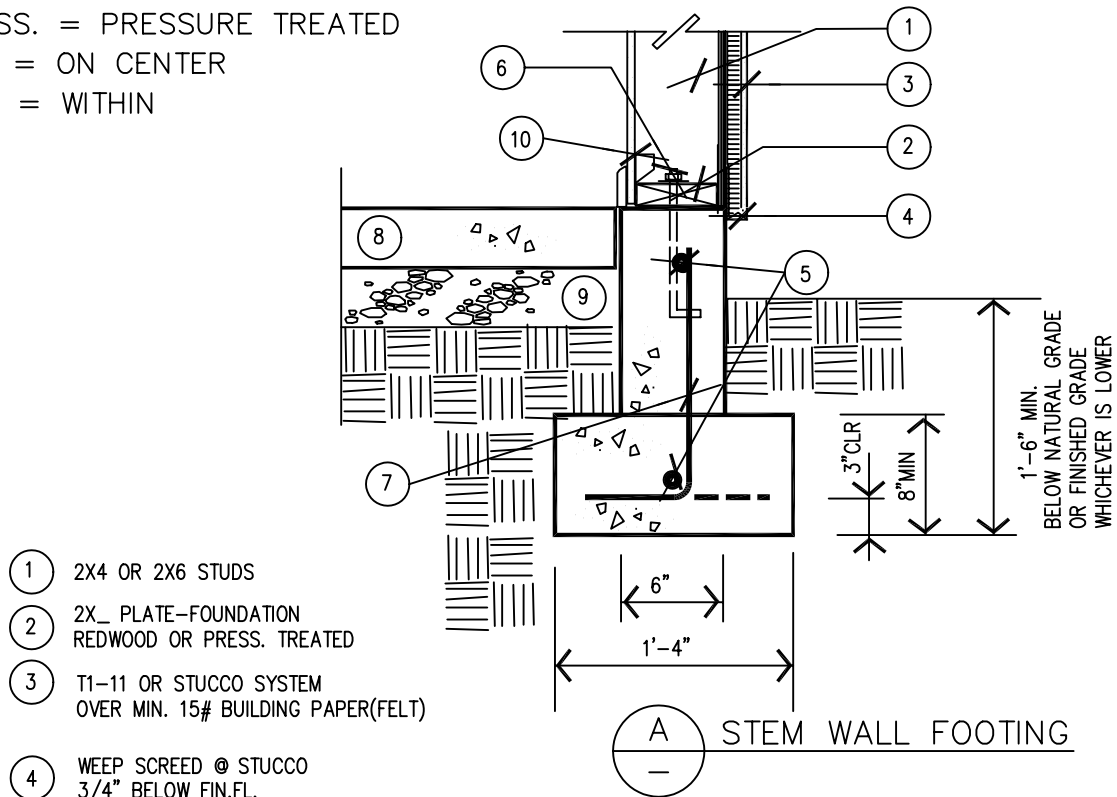


## ABBREVIATIONS

PRESS. = PRESSURE TREATED

O.C. = ON CENTER

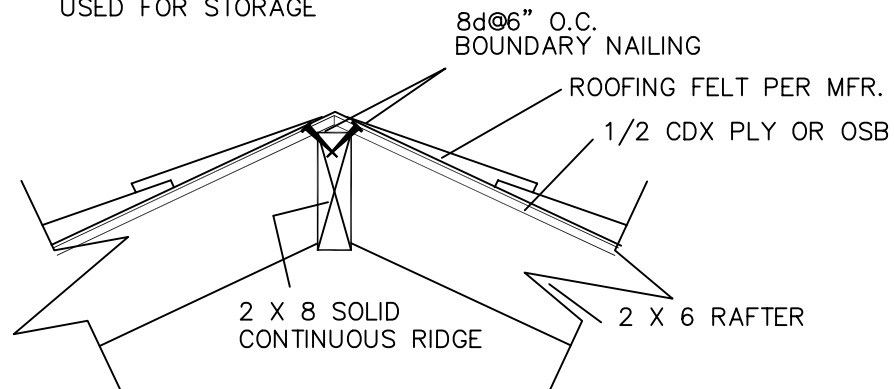
W/N = WITHIN



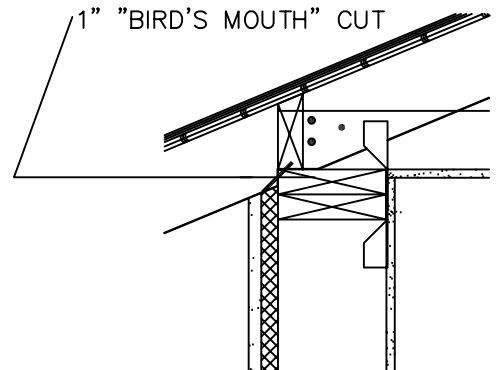
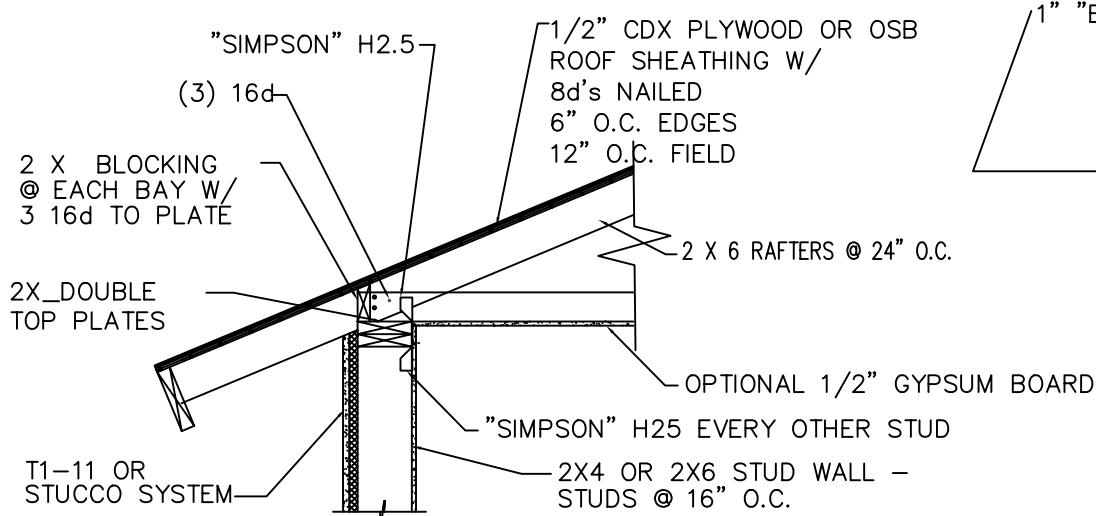
## D1-EXTERIOR WALL FOOTING DETAILS

NOT TO SCALE

NOTE! SPACE ABOVE  
ATTIC IS NOT TO BE  
USED FOR STORAGE



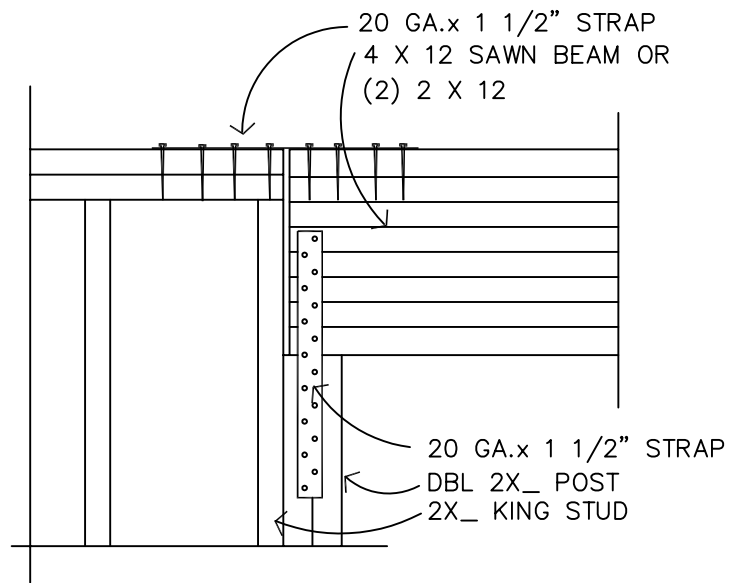
## A RIDGE CONNECTIONS



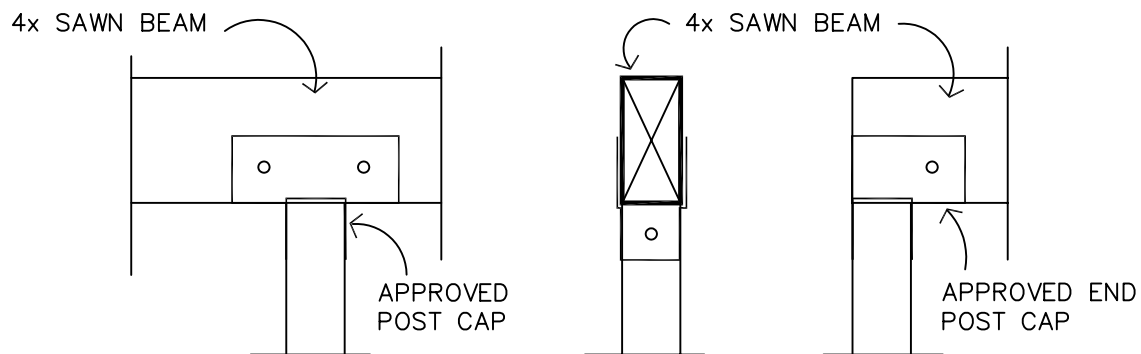
## B EAVE CONNECTIONS

# D2-FRAMING DETAILS

NOT TO SCALE



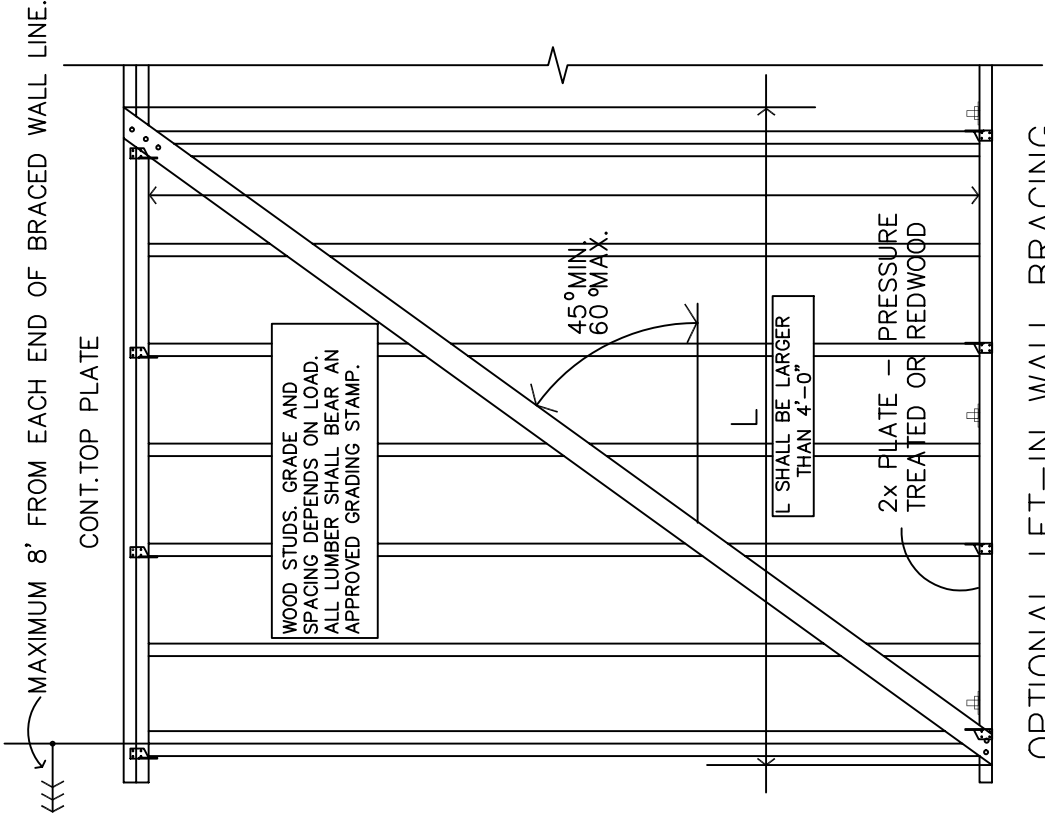
BEAM TO FRAME  
WALL CONNECTION



POST AND BEAM

END POST AND BEAM

## BEAM CONNECTIONS

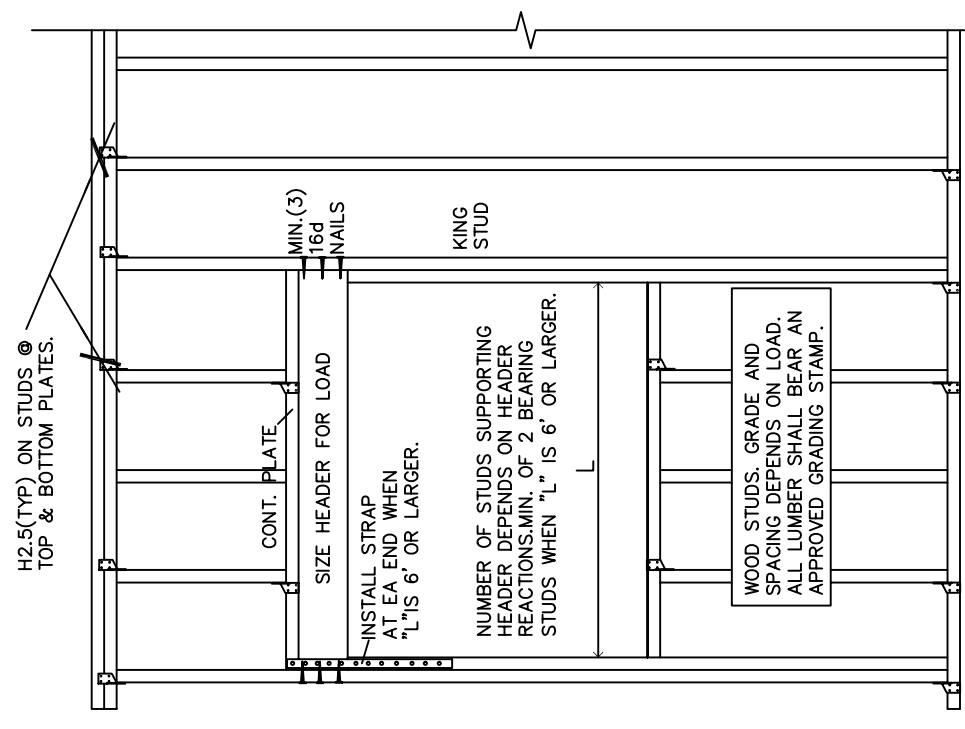


OPTIONAL LET-IN WALL BRACING.

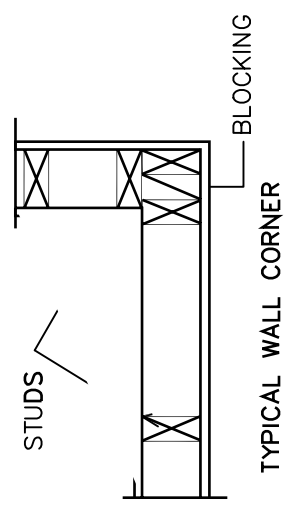
EXTERIOR WALLS OF ONE STORY WOOD FRAME BUILDINGS SHALL BE CONSTRUCTED WITH 2X4 OR 2X6 STUDS SPACED NOT MORE THAN 24" OC, SUPPORTING ROOF AND CEILING ONLY WITH MAXIMUM HEIGHT OF 10'.

THE EXTERIOR SIDE OF ALL EXTERIOR WALLS SHALL BE BRACED AT EACH END OF CORNERS AND EVERY 25' MAXIMUM

WHERE BRACING LET-IN CANNOT BE UTILIZED DUE TO OPENINGS, PROVIDE MINIMUM 3/8" PLYWOOD SHEATHING FROM THE CORNER TO 4' BEYOND THE WALL OPENING OR THE NEXT CORNER



TYPICAL HEADER IN WOOD STUD WALL



TYPICAL WALL CORNER

# TYPICAL WALL FRAMING

# NAILING SCHEDULE (TABLE 23-II-B-1)

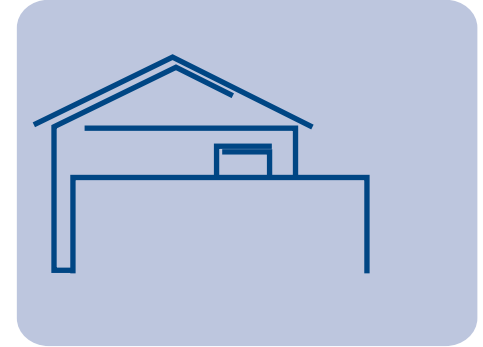
CONNECTION	NAILING <sup>1</sup>
1. JOIST TO SILL OR GIRDER, TOENAIL	3-8d
2. BRIDGING TO JOIST, TOENAIL EACH END	2-8d
3. 1"x6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d
4. WIDER THAN 1"x6" SUBFLOOR TO EACH JOIST, FACE NAIL	3-8d
5. 2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d
6. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL SOLE PLATE TO JOIST OR BLOCKING, AT BRACED WALL PANELS	16d at 16" O.C. 16d at 16" O.C.
7. TOP PLATE TO STUD, END NAIL	2-16d
8. STUD TO SOLE PLATE	4-8d, TOENAIL OR 2-16d, END NAIL
9. DOUBLE STUDS, FACE NAIL	16d at 24" O.C.
10. DOUBLED TOP PLATES, FACE NAIL DOUBLED TOP PLATES, LAP SPLICE	16d at 16" O.C. 8-16d
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-8d
12. RIM JOIST TO TOP PLATE, TOENAIL	8d at 16" O.C.
13. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2-16d
14. CONTINUOUS HEADER, TWO PIECES	16d at 16" O.C. ALONG EACH EDGE
15. CEILING JOIST TO PLATE	3-8d
16. CONTINUOUS HEADER TO STUD, TOENAIL	4-8d
17. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
18. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d
19. RAFTER TO PLATE, TOE NAIL	3-8d
20. 1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d
21. 1"x8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2-8d
22. WIDER THAN 1"x8" SHEATHING TO EACH BEARING, FACE NAIL	3-8d
23. BUILT-UP CORNER STUDS	16d at 24" O.C.
24. BUILT-UP GIRDER AND BEAMS	20d at 32" O.C. AT TOP AND BOTTOM AND STAGGERED 2-20d AT ENDS AND AT EACH SPLICE
25. 2" PLANKS	3-8d
26. WOOD STRUCTURAL PANELS AND PARTIALBOARD: <sup>2</sup> SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING): 1/2" AND LESS	6d <sup>3</sup>
19/32" - 3/4"	8d <sup>4</sup> or 6d <sup>5</sup>
7/8" - 1"	8d <sup>3</sup>
1 1/8" - 1 1/4"	10d <sup>4</sup> or 8d <sup>5</sup>
COMBINATION SUBFLOOR-UNDERLAYMENT (TO FRAMING): 3/4" AND LESS	6d <sup>5</sup>
7/8" - 1"	8d <sup>5</sup>
1 1/8" - 1 1/4"	10d <sup>4</sup> or 8d <sup>5</sup>
27. PANEL SIDING (TO FRAMING): 1/2" OR LESS	6d <sup>6</sup>
5/8"	8d <sup>6</sup>
28. FIBERBOARD SHEATHING: <sup>7</sup> 1/2"	No. 11 ga. <sup>8</sup> 6d <sup>4</sup> No. 16 ga. <sup>9</sup>
25/32"	No. 11 ga. <sup>8</sup> 8d <sup>4</sup> No. 16 ga. <sup>9</sup>
29. INTERIOR PANELING 1/4"	4d <sup>10</sup>
3/8"	6d <sup>11</sup>

CONTINUED

# NAILING SCHEDULE (TABLE 23-II-B-1) NOTES

- 1 COMMON OR BOX NAILS MAY BE USED EXCEPT WHERE OTHERWISE STATED.
- 2 NAILS SPACED AT 6 INCHES ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF PLYWOOD AND PARTICLEBOARD DIAPHRAGMS AND SHEAR WALLS, REFER TO SECTION 2315.3.3 AND 2315.4 NAILS FOR WALL SHEATHING MAY BE COMMON, BOX OR CASING.
- 3 COMMON OR DEFORMED SHANK.
- 4 COMMON.
- 5 DEFORMED SHANK.
- 6 CORROSION-RESISTANT SIDING OR CASING NAILS CONFORMING TO THE REQUIREMENTS OF SECTION 2304.3.
- 7 FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS.
- 8 CORROSION-RESISTANT ROOFING NAILS WITH 7/16" DIA. HEAD AND 1 1/2" LENGTH FOR 1/2" SHEATHING AND 1 3/4" LENGTH FOR 25/32" SHEATHING CONFORMING TO THE REQUIREMENTS OF SECTION 2304.3.
- 9 CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16" CROWN AND 1 1/8" LENGTH FOR 1/2" SHEATHING AND 1 1/2" LENGTH FOR 25/32" SHEATHING CONFORMING TO THE REQUIREMENTS OF SECTION 2304.3.
- 10 PANEL SUPPORTS AT 16 INCHES [20 IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED]. CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.
- 11 PANEL SUPPORTS AT 24 INCHES. CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.

## **Residential Masonry Fence/Wall Details**





# **CITY OF SCOTTSDALE SUBMITTAL REQUIREMENTS FOR RESIDENTIAL SIX (6) FOOT MASONRY WALLS**

**This standard includes the minimum requirements for construction of residential masonry walls and fences on single-family residential lots located south of Shea Blvd and west of 122<sup>nd</sup> street. A building permit is required for the construction of new masonry walls three (3) feet or taller—or for the replacement of an existing fence. This standard does not include the construction of retaining walls. This should not be considered a complete list of code requirements. Inspections must be passed before the work is considered completed by the City of Scottsdale.**

## **A. LOCATION**

Walls and fences are permitted on the property line or within the required side or rear yard. Walls and fences shall not exceed three (3) feet in height located within the required front yard. The fence height is measured from natural grade on the inside of the enclosure. **NOTE:** setbacks are measured from property lines.

### **Phone Numbers:**

Inspection Services	480-312-5750
Development Services	480-312-0000
Planning and Zoning	480-312-7083
Automated Inspection Request Line	480-312-5796

## **B. PERMIT AND PLAN REQUIREMENTS**

1. Provide a plot plan (see attached example) showing the street(s), property lines, lot dimensions, location of all existing structures and the location of the fence. List the lineal footage of the fence to be built. You may contact the City Records Department (480-312-2356) to verify if there is an existing site plan on file for your property. If one is not available, you may obtain a copy of your subdivision lot showing the lot dimensions and any easements on your property.
2. The attached building plans are for your use. You cannot exceed the fence/wall height dimensions that are shown.

## **C. INSPECTION REQUIREMENTS**

You will receive an inspection card that lists in detail the required inspections. The following list is for your information and may vary depending on what you will be including in your building.

1. A fence footing inspection.
2. A masonry grout inspection
3. A masonry bond beam inspection
4. A fence final

### **ABBREVIATIONS:**

**P.U.E. = PUBLIC UTILITY EASEMENT**

**W/N=WITHIN**

**O.C=ONCENTER**

**PRESS.=PRESSURE TREATED**





6" or 8" MASONRY FENCE WALL

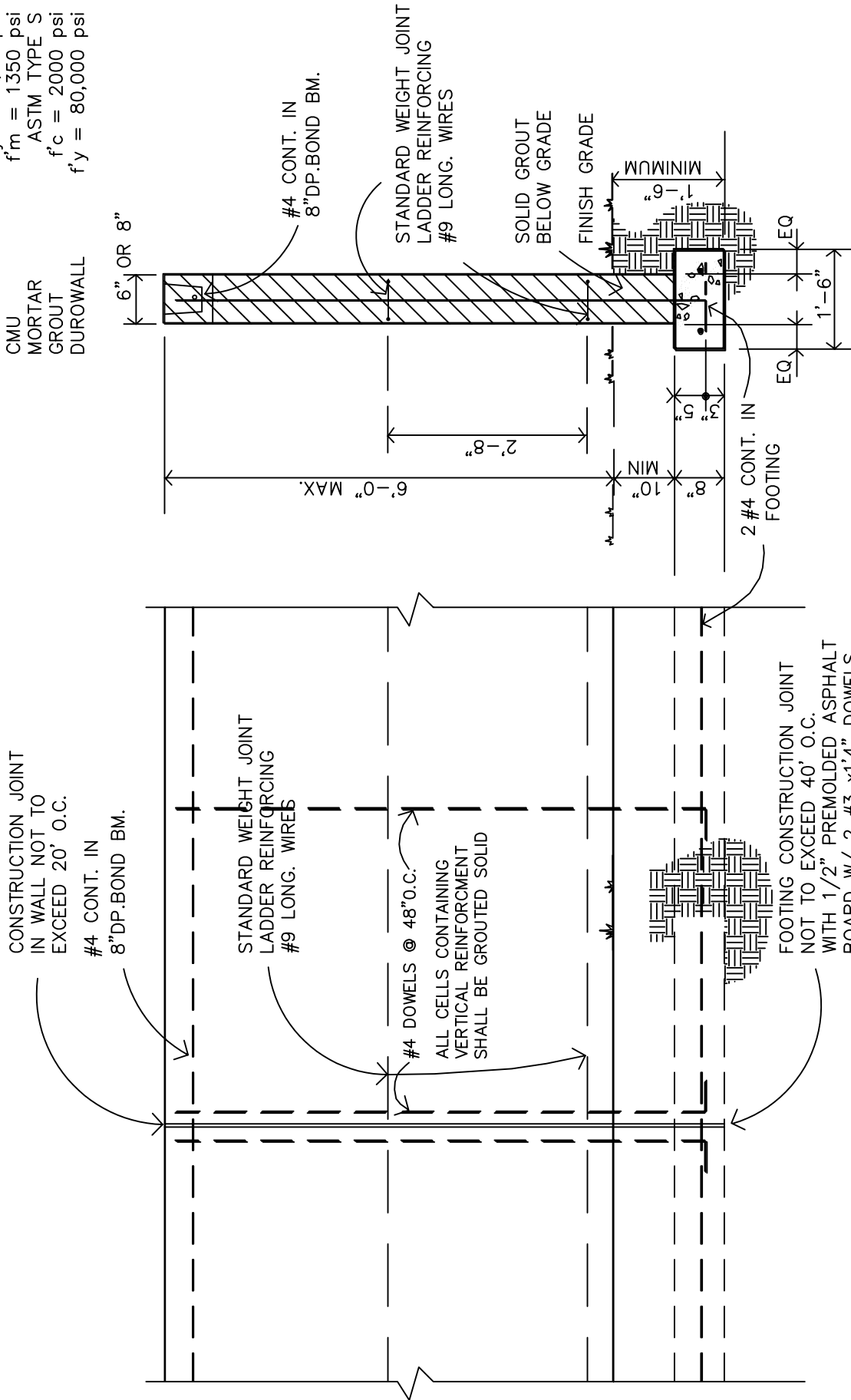
MINIMUM STANDARD

CITY OF SCOTTSDALE

MATERIALS :

CONCRETE  
REINFORCING  
CMU  
MORTAR  
GROUT  
DUROWALL

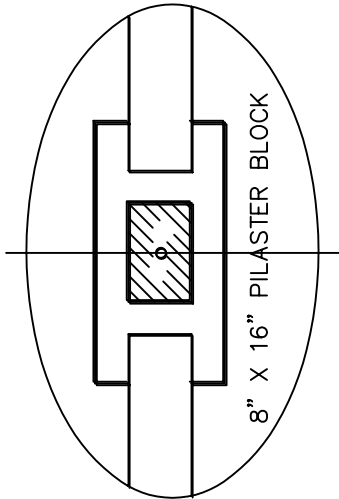
$f'_c = 2000 \text{ psi}$   
 $f_y = 40,000 \text{ psi}$   
 $f'_m = 1350 \text{ psi}$   
ASTM TYPE S  
 $f'_c = 2000 \text{ psi}$   
 $f'_y = 80,000 \text{ psi}$



ELEVATION

SECTION

# DETAIL AT PILASTER



Ø PILASTER

9' -4" O.C. MAX

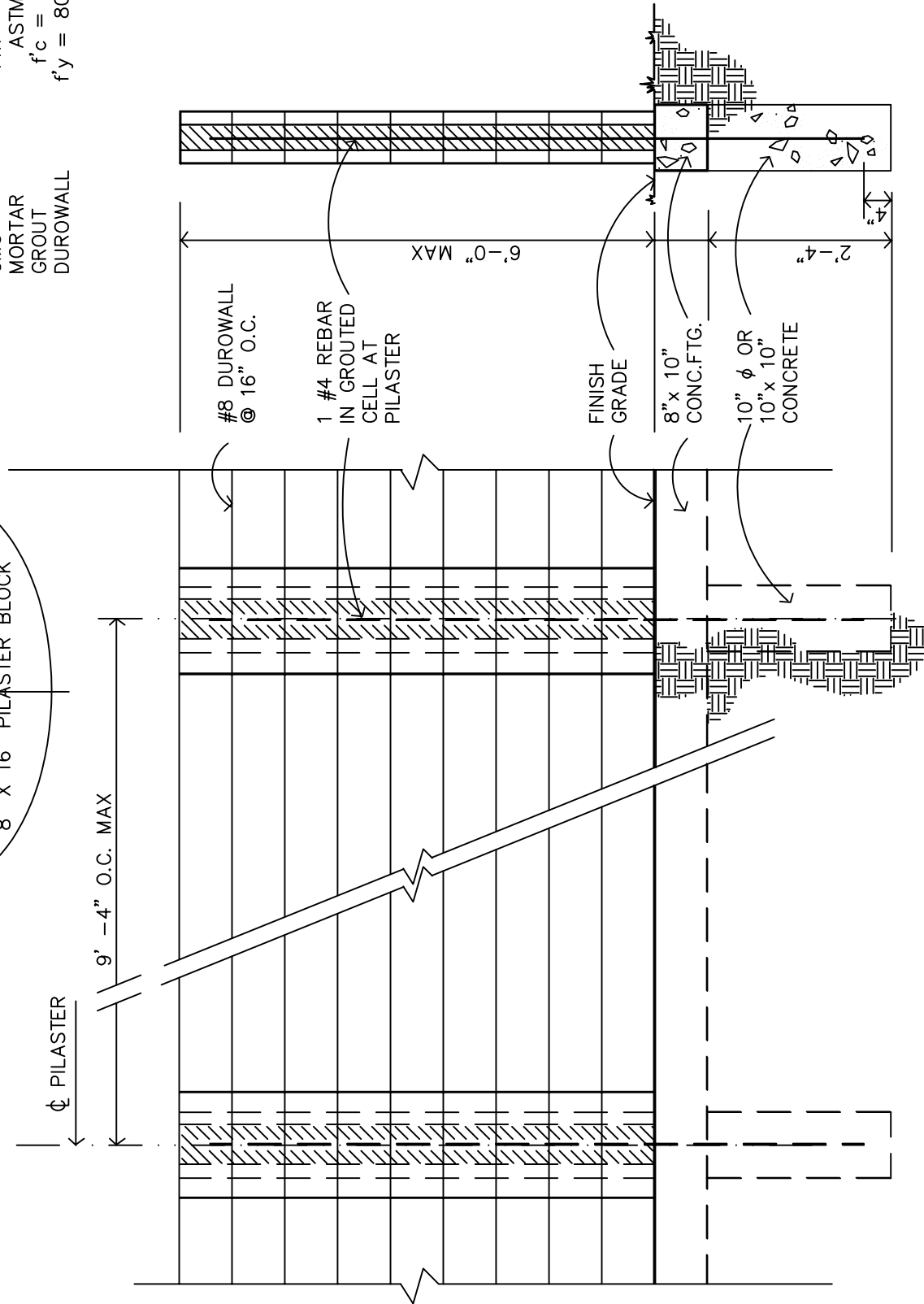
## 4" MASONRY FENCE

(DOOLEY FENCE)

MATERIALS :

CONCRETE  
REINFORCING  
CMU  
MORTAR  
GROUT  
DUROWALL

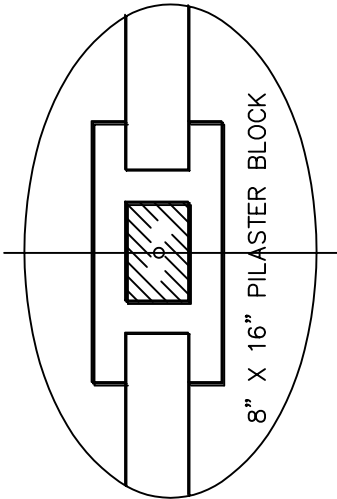
$f'_c = 2500 \text{ psi}$   
 $f_y = 40,000 \text{ psi}$   
 $f'_m = 1350 \text{ psi}$   
ASTM TYPE S  
 $f'_c = 2000 \text{ psi}$   
 $f'_y = 80,000 \text{ psi}$



ELEVATION

SECTION

# DETAIL AT PILASTER



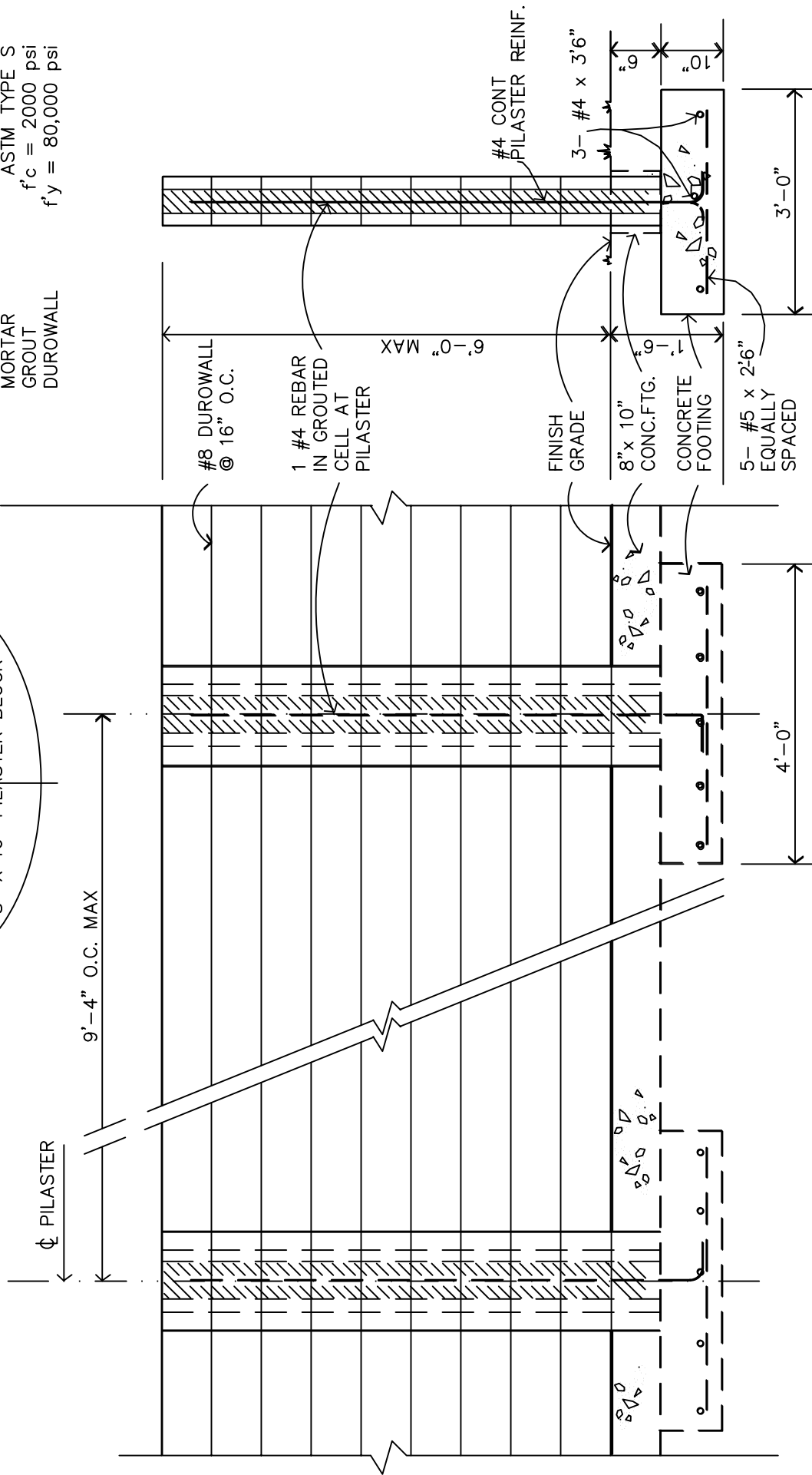
# 4" MASONRY FENCE

(DOOLEY FENCE)

MATERIALS :

CONCRETE  
REINFORCING  
CMU  
MORTAR  
GROUT  
DUROWALL

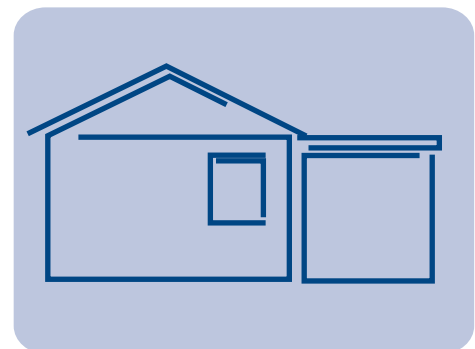
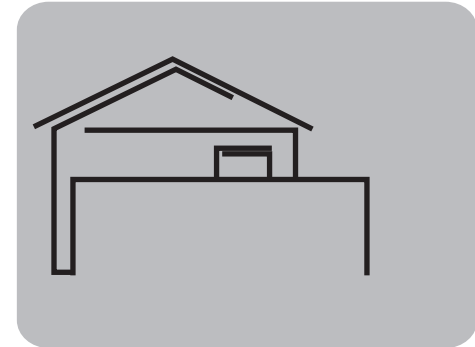
$f'_c = 2500 \text{ psi}$   
 $f_y = 40,000 \text{ psi}$   
 $f'_m = 1350 \text{ psi}$   
ASTM TYPE S  
 $f'_c = 2000 \text{ psi}$   
 $f_y = 80,000 \text{ psi}$



ELEVATION

SECTION

## **Residential Carport Enclosure to Garage Details**





# **CITY OF SCOTTSDALE SUBMITTAL REQUIREMENTS FOR RESIDENTIAL CARPORT ENCLOSURE TO GARAGE**

**This information covers the basic requirements for the enclosure of an existing carport on a single-family residence. A building permit is required to modify a carport to a garage. Any electrical that is added to an existing carport or garage also requires a permit. This should not be considered as a complete list of code requirements. Inspections must be passed before the work is considered completed by the City of Scottsdale.**

## **A. DEFINITIONS**

A carport is an accessory structure or portion of a main building with two or more open sides designated for the parking of motor vehicles. Enclosed storage facilities may be provided as part of a carport.

## **B. LOCATION**

The location of the existing carport must meet the setback requirements for your property zoning. A copy of the City of Scottsdale standard zoning requirements is included. If your property is located in a planned community development with amended standards or if you do not know your zoning please contact the Planning and Development Services Department at 480-312-7083. **NOTE:** setbacks are measured from property lines.

## **C. PERMIT AND PLAN REQUIREMENTS**

- Plot plan-provide a plot plan (see attached example) showing the streets, property lines, lot dimensions, location of the existing house on the lot and the location of the existing carport. Provide the setback dimensions from property lines and any existing structures that may be adjacent to the building area. You may check with the City Records Department (480-312-2356) to see if there is an existing site plan on file for your property. If one is not available, you can get a copy of your subdivision lot showing the lot dimensions and any easements that may be on your property.
- Building plans-the attached building plans are for your use. You cannot exceed the building dimensions that are shown. Provide the actual dimensions for the new walls and the area to be enclosed. Include the location of any existing doors or windows that may now open to your carport from the residence.

## **D. INSPECTION REQUIREMENTS**

You will be provided an inspection card that will list and detail the required inspections. The following list is for your information and may vary depending on what you will be including in your building.

- A miscellaneous footing inspection.
- A rough framing inspection NOTE: if you are providing electrical you will also need a rough electrical inspection.
- Wall board/drywall inspection (if being installed)
- A final inspection for framing and electrical (if applicable)

### **Phone Numbers:**

Inspection Services	480-312-5750
Development Services-	
Planning and Zoning Division	480-312-7083
Automated Inspection	
Request Line	480-312-5796

### **ABBREVIATIONS:**

**W/N=WITHIN**

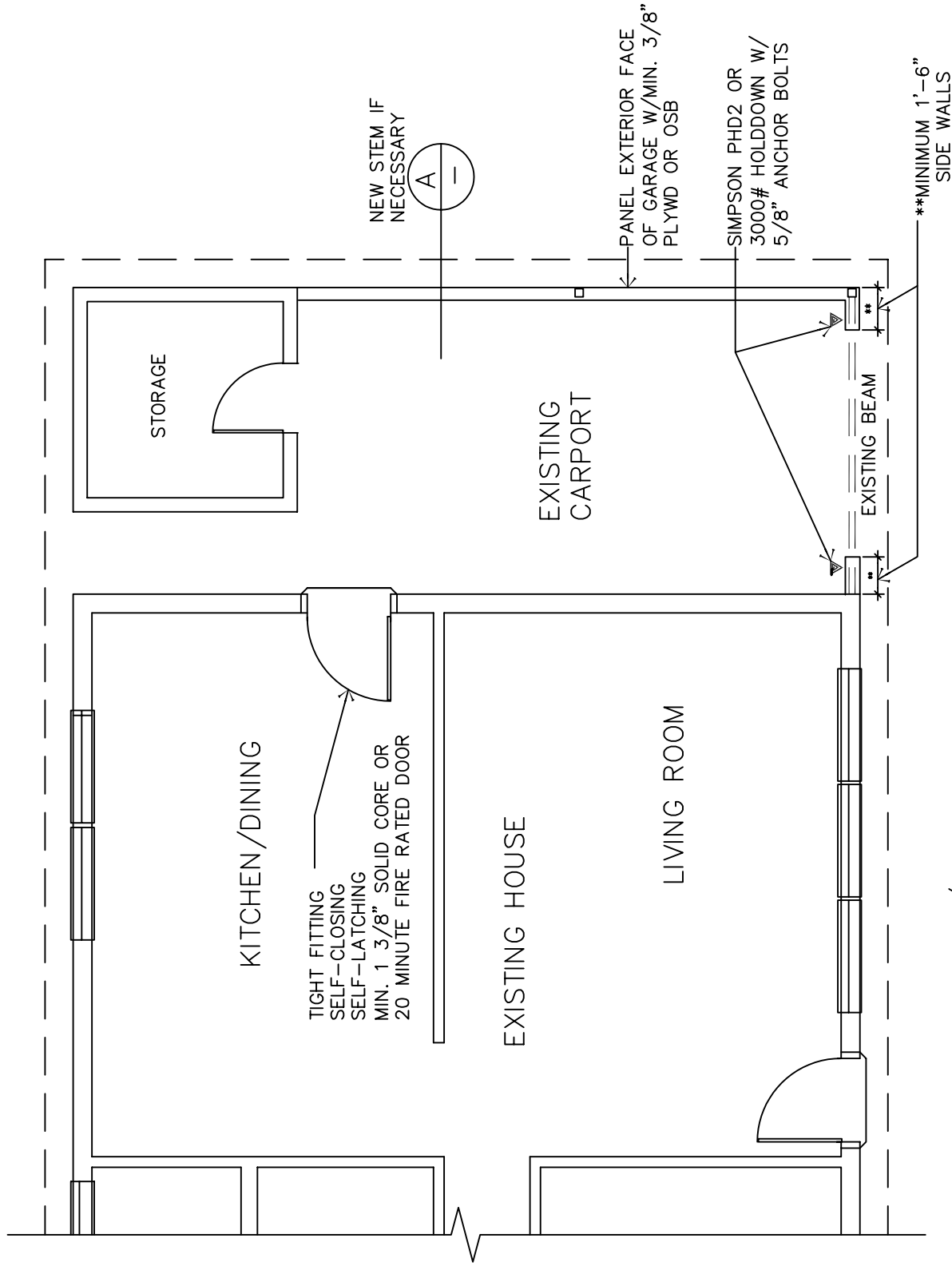
**O.C.=ON CENTER**

**PRESS.=PRESSURE TREATED**

**P.U.E.=PUBLIC UTILITY EASEMENT**

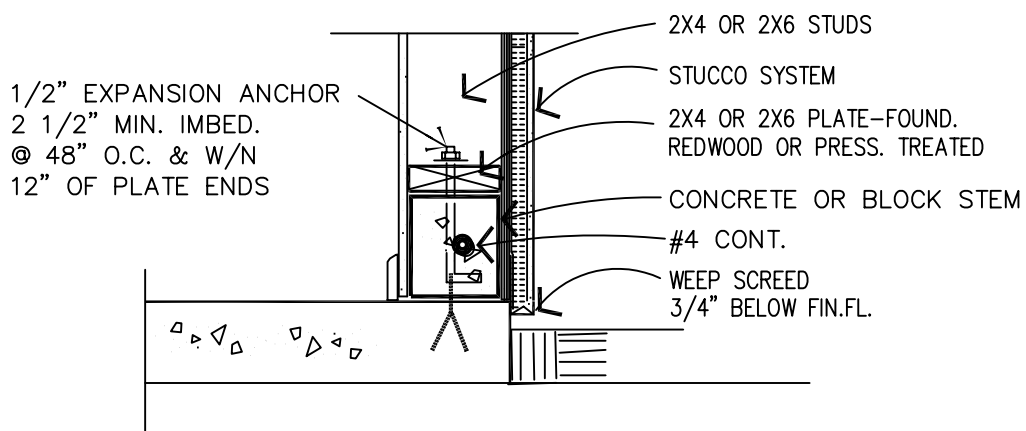
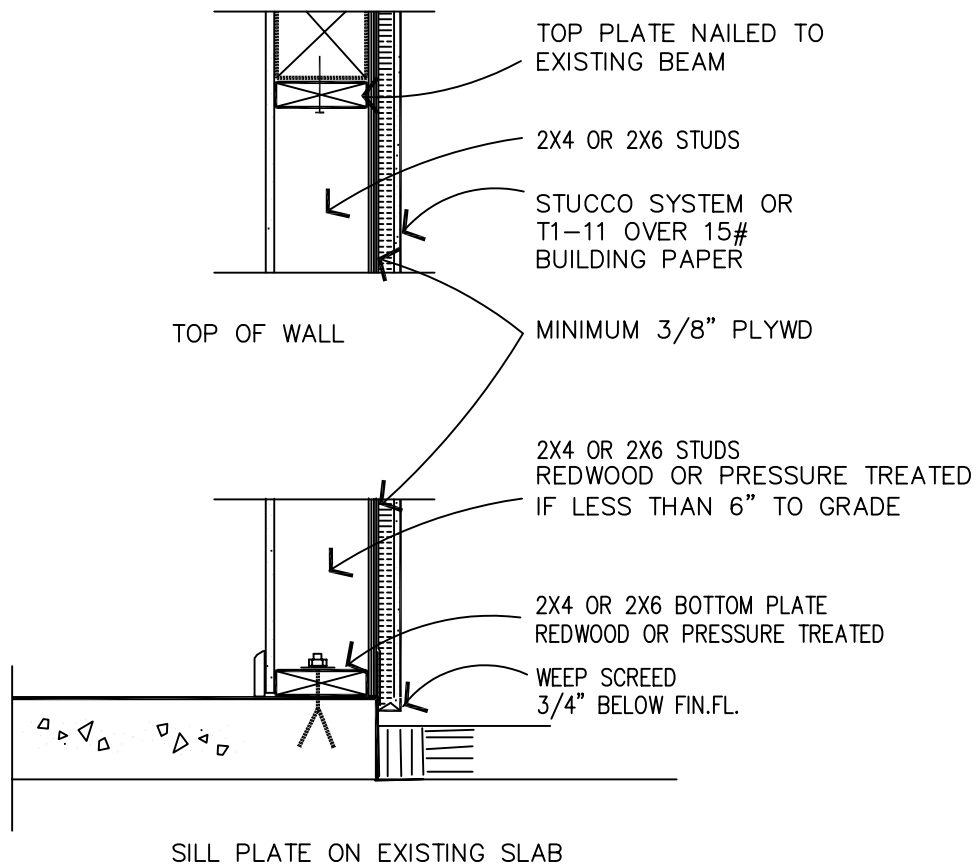




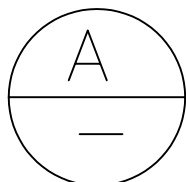


# CARPORT/GARAGE CONVERSION PLAN

SHOW LOCATION OF POSTS AND COLUMNS  
SHOW LOCATION OF ANCHOR BOLTS AND HOLD DOWNS



EXTERIOR INFILL WALL BETWEEN EXISTING POST AND BEAM CONSTRUCTION



CARPORT/GARAGE CONVERSION

# NAILING SCHEDULE (TABLE 23-II-B-1)

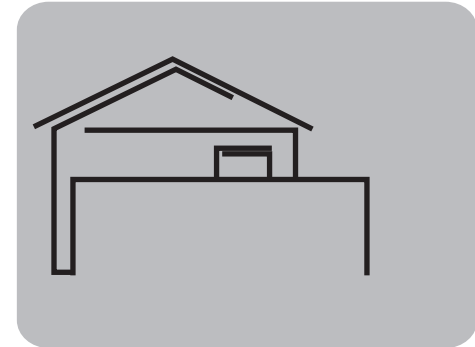
CONNECTION	NAILING <sup>1</sup>
1. JOIST TO SILL OR GIRDER, TOENAIL	3-8d
2. BRIDGING TO JOIST, TOENAIL EACH END	2-8d
3. 1"x6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d
4. WIDER THAN 1"x6" SUBFLOOR TO EACH JOIST, FACE NAIL	3-8d
5. 2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d
6. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL SOLE PLATE TO JOIST OR BLOCKING, AT BRACED WALL PANELS	16d at 16" O.C. 16d at 16" O.C.
7. TOP PLATE TO STUD, END NAIL	2-16d
8. STUD TO SOLE PLATE	4-8d, TOENAIL OR 2-16d, END NAIL
9. DOUBLE STUDS, FACE NAIL	16d at 24" O.C.
10. DOUBLED TOP PLATES, FACE NAIL DOUBLED TOP PLATES, LAP SPLICE	16d at 16" O.C. 8-16d
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-8d
12. RIM JOIST TO TOP PLATE, TOENAIL	8d at 16" O.C.
13. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2-16d
14. CONTINUOUS HEADER, TWO PIECES	16d at 16" O.C. ALONG EACH EDGE
15. CEILING JOIST TO PLATE	3-8d
16. CONTINUOUS HEADER TO STUD, TOENAIL	4-8d
17. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
18. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d
19. RAFTER TO PLATE, TOE NAIL	3-8d
20. 1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d
21. 1"x8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2-8d
22. WIDER THAN 1"x8" SHEATHING TO EACH BEARING, FACE NAIL	3-8d
23. BUILT-UP CORNER STUDS	16d at 24" O.C.
24. BUILT-UP GIRDER AND BEAMS	20d at 32" O.C. AT TOP AND BOTTOM AND STAGGERED 2-20d AT ENDS AND AT EACH SPLICE
25. 2" PLANKS	3-8d
26. WOOD STRUCTURAL PANELS AND PARTIALBOARD: <sup>2</sup> SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING): 1/2" AND LESS	6d <sup>3</sup>
19/32" - 3/4"	8d <sup>4</sup> or 6d <sup>5</sup>
7/8" - 1"	8d <sup>3</sup>
1 1/8" - 1 1/4"	10d <sup>4</sup> or 8d <sup>5</sup>
COMBINATION SUBFLOOR-UNDERLAYMENT (TO FRAMING): 3/4" AND LESS	6d <sup>5</sup>
7/8" - 1"	8d <sup>5</sup>
1 1/8" - 1 1/4"	10d <sup>4</sup> or 8d <sup>5</sup>
27. PANEL SIDING (TO FRAMING): 1/2" OR LESS	6d <sup>6</sup>
5/8"	8d <sup>6</sup>
28. FIBERBOARD SHEATHING: <sup>7</sup> 1/2"	No. 11 ga. <sup>8</sup> 6d <sup>4</sup> No. 16 ga. <sup>9</sup>
25/32"	No. 11 ga. <sup>8</sup> 8d <sup>4</sup> No. 16 ga. <sup>9</sup>
29. INTERIOR PANELING 1/4"	4d <sup>10</sup>
3/8"	6d <sup>11</sup>

CONTINUED

# NAILING SCHEDULE (TABLE 23-II-B-1) NOTES

- 1 COMMON OR BOX NAILS MAY BE USED EXCEPT WHERE OTHERWISE STATED.
- 2 NAILS SPACED AT 6 INCHES ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF PLYWOOD AND PARTICLEBOARD DIAPHRAGMS AND SHEAR WALLS, REFER TO SECTION 2315.3.3 AND 2315.4 NAILS FOR WALL SHEATHING MAY BE COMMON, BOX OR CASING.
- 3 COMMON OR DEFORMED SHANK.
- 4 COMMON.
- 5 DEFORMED SHANK.
- 6 CORROSION-RESISTANT SIDING OR CASING NAILS CONFORMING TO THE REQUIREMENTS OF SECTION 2304.3.
- 7 FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS.
- 8 CORROSION-RESISTANT ROOFING NAILS WITH 7/16" DIA. HEAD AND 1 1/2" LENGTH FOR 1/2" SHEATHING AND 1 3/4" LENGTH FOR 25/32" SHEATHING CONFORMING TO THE REQUIREMENTS OF SECTION 2304.3.
- 9 CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16" CROWN AND 1 1/8" LENGTH FOR 1/2" SHEATHING AND 1 1/2" LENGTH FOR 25/32" SHEATHING CONFORMING TO THE REQUIREMENTS OF SECTION 2304.3.
- 10 PANEL SUPPORTS AT 16 INCHES [20 IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED]. CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.
- 11 PANEL SUPPORTS AT 24 INCHES. CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.

## **Attached Residential Patio Cover Details**





# **CITY OF SCOTTSDALE SUBMITTAL REQUIREMENTS FOR AN ATTACHED RESIDENTIAL PATIO COVER**

**This information covers the basic requirements for the construction or replacement or a residential patio cover for single-family residence. A building permit is required for any attached addition to the residence including the construction of an attached patio cover or for the repair and replacement or an existing patio cover. Any electrical that is added to an existing patio cover also requires a permit. This should not be considered as a complete list of code requirements. Inspections must be passed before the work is considered completed by the City of Scottsdale.**

## **A. DEFINITIONS**

A patio cover is a one-story structure, not exceeding 12 feet in height, attached to the existing residence and is entirely open on two or more sides. Patio covers shall be used only for recreational and outdoor living purposes.

## **B. LOCATION**

The location of the patio cover must meet the setback requirements for your property zoning. A copy of the City of Scottsdale standard zoning requirements is included. If your property is located in a planned community development with amended standards or if you do not know your zoning please contact the Planning and Development Services Department at 480-312-7083. **NOTE:** setbacks are measured from property lines.

## **C. PERMIT AND PLAN REQUIREMENTS**

- Plot plan-provide a plot plan (see attached example) showing the streets, property lines, lot dimensions, location of the existing house on the lot and the location of the new patio cover. Provide the setback dimensions from property lines and any existing structures that may be adjacent to the building area. You may check with the City Records Department (480-312-2356) to see if there is an existing site plan on file for your property. If one is not available, you can get a copy of your subdivision lot showing the lot dimensions and any easements that may be on your property.
- Building plans-the attached building plans are for your use. You cannot exceed the building dimensions that are shown. Provide the actual dimensions and height of the building that you intend to build and label the use.

## **D. INSPECTION REQUIREMENTS**

You will be provided an inspection card that will list and detail the required inspections. The following list is for your information and may vary depending on what you will be including in your building.

- A miscellaneous footing inspection.
- A rough framing inspection NOTE: if you are providing electrical you will also need a rough electrical inspection.
- Wall board/drywall inspection (if being installed)
- A final inspection for framing and electrical (if applicable)

### **Phone Numbers:**

Inspection Services	480-312-5750
Development Services-	
Planning and Zoning Division	480-312-7083
Automated Inspection	
Request Line	480-312-5796

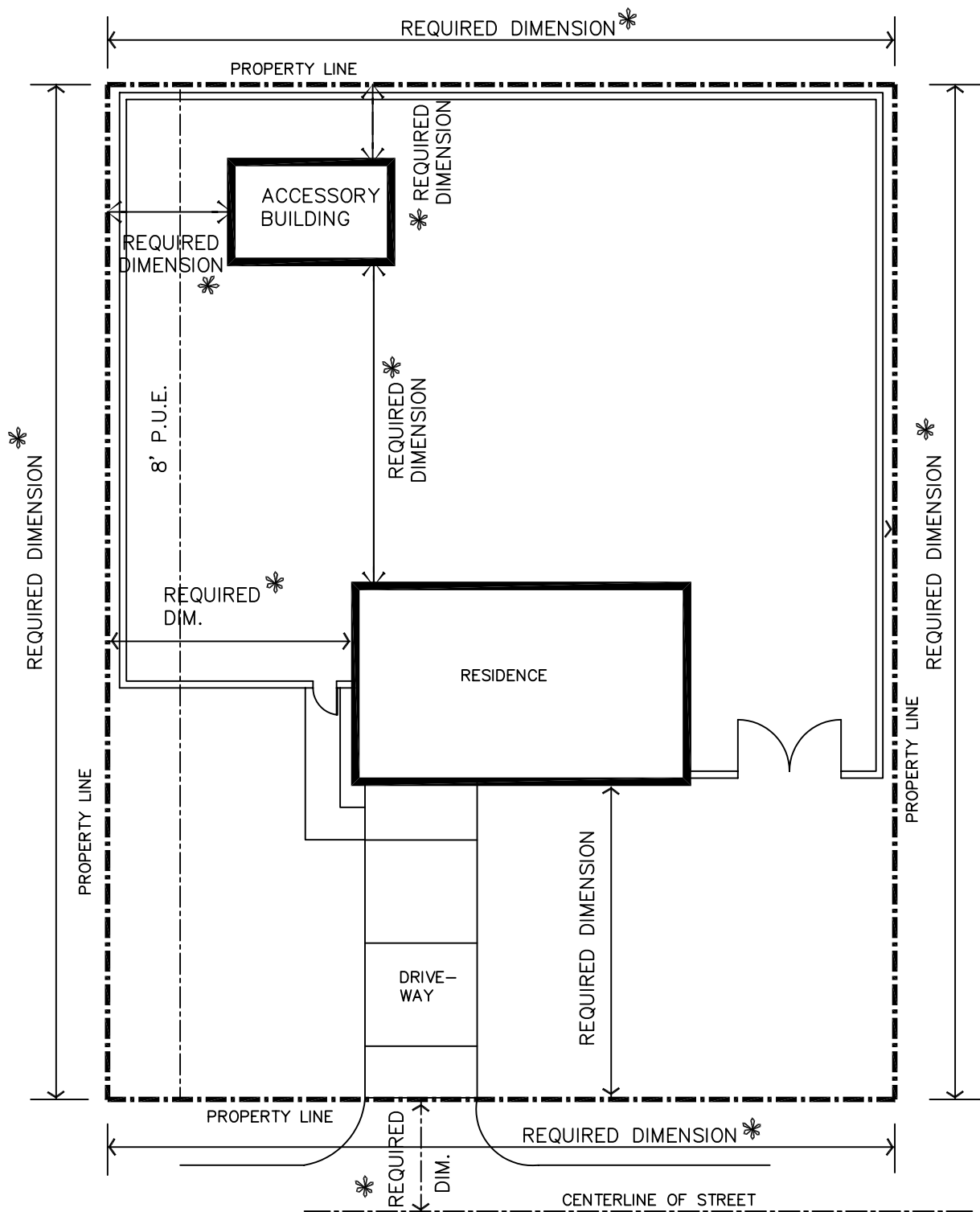
### **ABBREVIATIONS:**

**W/N=WITHIN**

**O.C=ONCENTER**

**PRESS.=PRESSURE TREATED**

**P.U.E.=PUBLIC UTILITY EASEMENT**



PROVIDE :  
ADDRESS AND  
ASSESSORS PARCEL  
NUMBER OF  
PROJECT

DIMENSIONS OF  
PROPERTY AND  
EASEMENTS  
AVAILABLE FROM  
RECORDS DEPT.  
DIMENSIONS FROM  
PROPERTY LINES  
AND ALL EXISTING  
STRUCTURES,  
WALLS AND  
SWIMMING POOLS

SHOW LOCATION  
AND SIZE OF ALL  
DRAINAGE  
OPENINGS  
IN BLOCK WALLS

## TYPICAL SITE PLAN



NORTH ARROW

### FEMA BLOCK

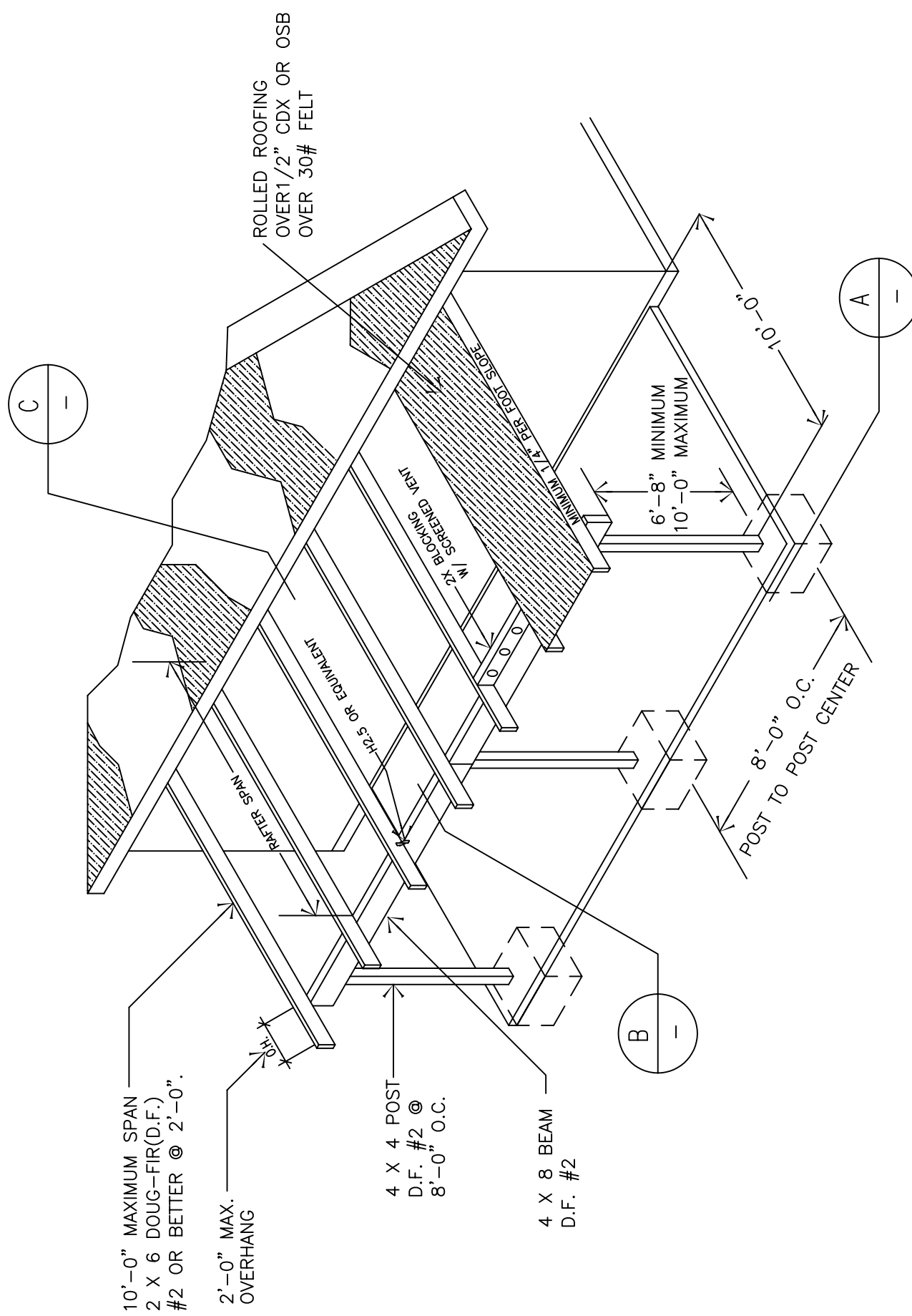
#### Flood Insurance Rate Map (FIRM) Information

Community No.	Panel No.	Suffix	Date of FIRM	FIRM Zone	Base Flood Elev.	(In AO zone, give depth and velocity)
	Date					

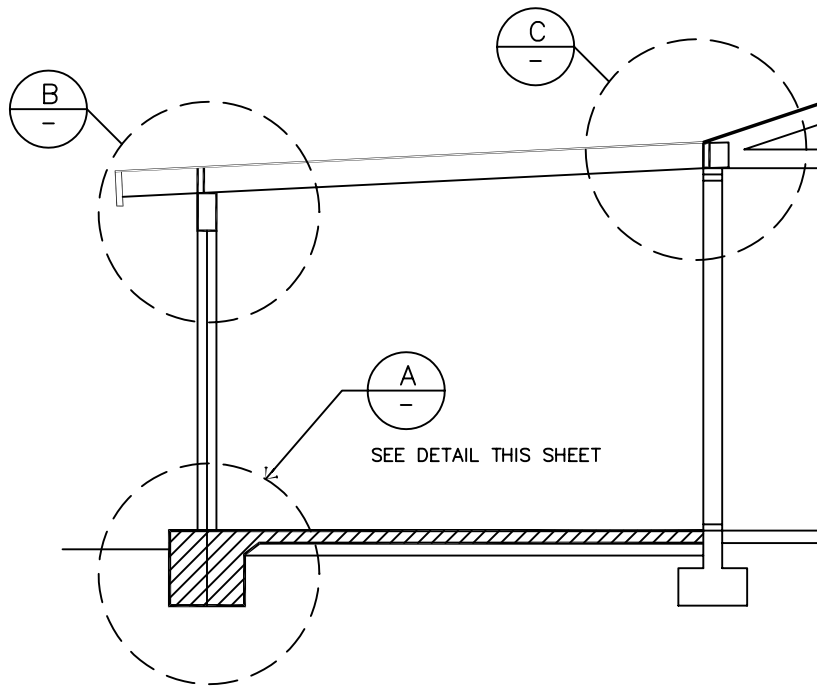
#### (For Areas Under Study Or Preliminary F.I.R.M.)

Source of Map	Date of Map	Flood Zone	Base Flood Elevation	(In AO Zone, give depth and velocity. No habitable floors are permitted below lowest floor elevation)
---------------	-------------	------------	----------------------	---

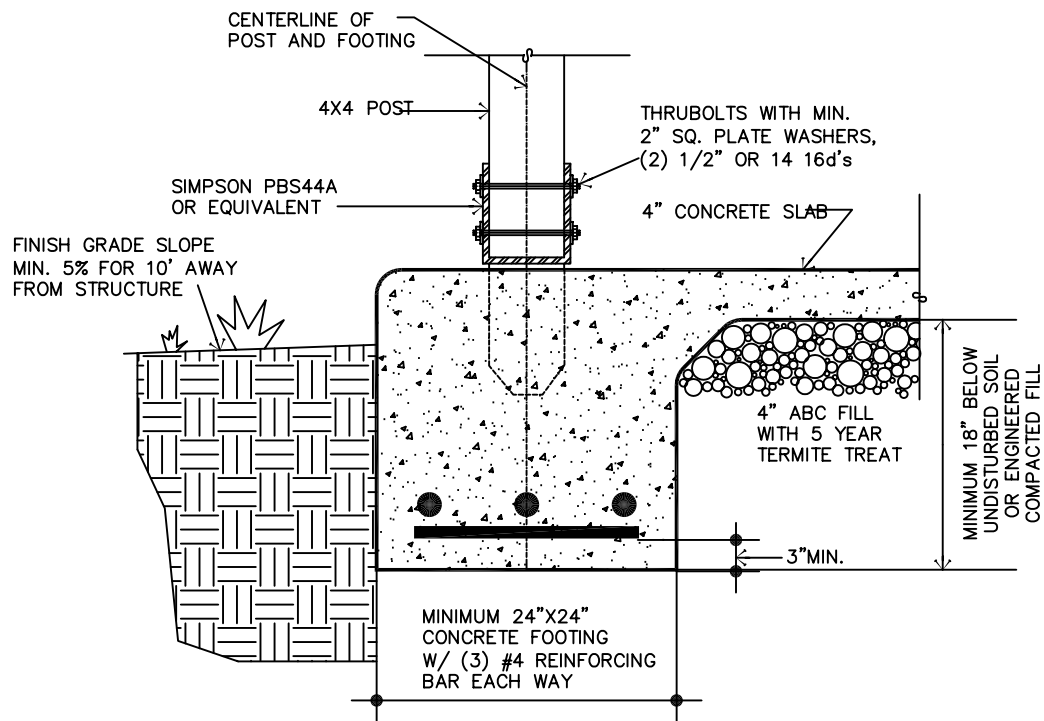




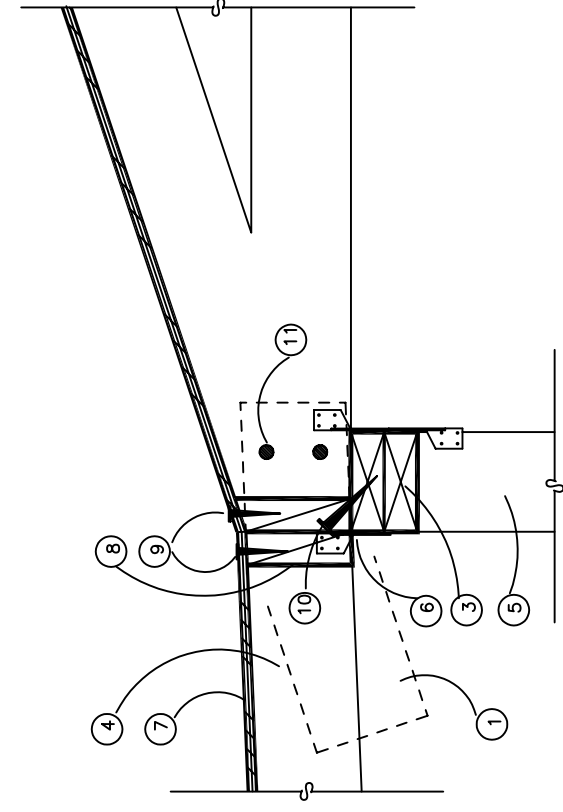
PATIO COVER



## PATIO KEY SECTION



PATIO POST FOOTING



- ① CUT OVERHANG OFF, FLUSH W/ TOP PLATE
- ② NOT USED
- ③ DOUBLE TOP PLATE
- ④ NEW JOISTS BEARING ON TOP PLATE, SEE PLAN FOR SIZE
- ⑤ EXISTING STUD WALL
- ⑥ H2.5@ EA. ROOF RAFTER
- ⑦ 1/2" CDX PLYWOOD SHEATHING
- ⑧ 2 x SOLID BLOCKING
- ⑨ EDGE NAILING 8d @ 6" O/C MIN.
- ⑩ 3-16d/BAY TOENAILING TO TOP PLATE
- ⑪ MINIMUM TWO 10d NAIL

PATIO ROOF TO  
 EXISTING HOUSE

# NAILING SCHEDULE (TABLE 23-II-B-1)

CONNECTION	NAILING <sup>1</sup>
1. JOIST TO SILL OR GIRDER, TOENAIL	3-8d
2. BRIDGING TO JOIST, TOENAIL EACH END	2-8d
3. 1"x6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d
4. WIDER THAN 1"x6" SUBFLOOR TO EACH JOIST, FACE NAIL	3-8d
5. 2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d
6. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL SOLE PLATE TO JOIST OR BLOCKING, AT BRACED WALL PANELS	16d at 16" O.C. 16d at 16" O.C.
7. TOP PLATE TO STUD, END NAIL	2-16d
8. STUD TO SOLE PLATE	4-8d, TOENAIL OR 2-16d, END NAIL
9. DOUBLE STUDS, FACE NAIL	16d at 24" O.C.
10. DOUBLED TOP PLATES, FACE NAIL DOUBLED TOP PLATES, LAP SPLICE	16d at 16" O.C. 8-16d
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-8d
12. RIM JOIST TO TOP PLATE, TOENAIL	8d at 16" O.C.
13. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2-16d
14. CONTINUOUS HEADER, TWO PIECES	16d at 16" O.C. ALONG EACH EDGE
15. CEILING JOIST TO PLATE	3-8d
16. CONTINUOUS HEADER TO STUD, TOENAIL	4-8d
17. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
18. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d
19. RAFTER TO PLATE, TOE NAIL	3-8d
20. 1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d
21. 1"x8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2-8d
22. WIDER THAN 1"x8" SHEATHING TO EACH BEARING, FACE NAIL	3-8d
23. BUILT-UP CORNER STUDS	16d at 24" O.C.
24. BUILT-UP GIRDER AND BEAMS	20d at 32" O.C. AT TOP AND BOTTOM AND STAGGERED 2-20d AT ENDS AND AT EACH SPLICE
25. 2" PLANKS	3-8d
26. WOOD STRUCTURAL PANELS AND PARTIALBOARD: <sup>2</sup> SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING): 1/2" AND LESS	6d <sup>3</sup>
19/32" - 3/4"	8d <sup>4</sup> or 6d <sup>5</sup>
7/8" - 1"	8d <sup>3</sup>
1 1/8" - 1 1/4"	10d <sup>4</sup> or 8d <sup>5</sup>
COMBINATION SUBFLOOR-UNDERLAYMENT (TO FRAMING): 3/4" AND LESS	6d <sup>5</sup>
7/8" - 1"	8d <sup>5</sup>
1 1/8" - 1 1/4"	10d <sup>4</sup> or 8d <sup>5</sup>
27. PANEL SIDING (TO FRAMING): 1/2" OR LESS	6d <sup>6</sup>
5/8"	8d <sup>6</sup>
28. FIBERBOARD SHEATHING: <sup>7</sup> 1/2"	No. 11 ga. <sup>8</sup> 6d <sup>4</sup> No. 16 ga. <sup>9</sup>
25/32"	No. 11 ga. <sup>8</sup> 8d <sup>4</sup> No. 16 ga. <sup>9</sup>
29. INTERIOR PANELING 1/4"	4d <sup>10</sup>
3/8"	6d <sup>11</sup>

CONTINUED

# NAILING SCHEDULE (TABLE 23-II-B-1) NOTES

- 1 COMMON OR BOX NAILS MAY BE USED EXCEPT WHERE OTHERWISE STATED.
- 2 NAILS SPACED AT 6 INCHES ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF PLYWOOD AND PARTICLEBOARD DIAPHRAGMS AND SHEAR WALLS, REFER TO SECTION 2315.3.3 AND 2315.4 NAILS FOR WALL SHEATHING MAY BE COMMON, BOX OR CASING.
- 3 COMMON OR DEFORMED SHANK.
- 4 COMMON.
- 5 DEFORMED SHANK.
- 6 CORROSION-RESISTANT SIDING OR CASING NAILS CONFORMING TO THE REQUIREMENTS OF SECTION 2304.3.
- 7 FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS.
- 8 CORROSION-RESISTANT ROOFING NAILS WITH 7/16" DIA. HEAD AND 1 1/2" LENGTH FOR 1/2" SHEATHING AND 1 3/4" LENGTH FOR 25/32" SHEATHING CONFORMING TO THE REQUIREMENTS OF SECTION 2304.3.
- 9 CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16" CROWN AND 1 1/8" LENGTH FOR 1/2" SHEATHING AND 1 1/2" LENGTH FOR 25/32" SHEATHING CONFORMING TO THE REQUIREMENTS OF SECTION 2304.3.
- 10 PANEL SUPPORTS AT 16 INCHES [20 IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED]. CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.
- 11 PANEL SUPPORTS AT 24 INCHES. CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.